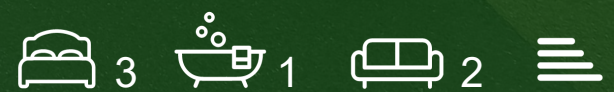




Lansdowne Road, Ilford, IG3 8NF

Offers In Excess Of £550,000





Lansdowne Road

Ilford, IG3 8NF

Local Authority: Redbridge

Tax Band: D

- EPC - TBC
- TWO RECEPTION ROOMS
- OFF STREET PARKING FOR TWO CARS
- DOUBLE GLAZED WINDOWS
- THREE BEDROOM HOUSE
- FIRST FLOOR BATHROOM
- GAS CENTRAL HEATING
- WALKING DISTANCE TO SEVEN KINGS STATION

Welcome to this charming terraced house located on Lansdowne Road in Ilford, an ideal home for growing families or those looking to downsize. This delightful property boasts three well-proportioned bedrooms, providing ample space for relaxation and rest. The inviting reception room offers a warm and welcoming atmosphere, perfect for entertaining guests or enjoying quiet evenings at home.

The house is in good condition, ensuring that you can move in with ease and start making it your own. One of the standout features of this property is the convenience of off-street parking, a valuable asset in this bustling area.

Situated close to Seven Kings Station, commuting to central London and beyond is both quick and convenient, making this location perfect for professionals and families alike. The surrounding area offers a variety of local amenities, including shops, schools, and parks, catering to all your daily needs.

This property presents a wonderful opportunity to secure a comfortable and practical home in a sought-after location. Don't miss your chance to view this lovely house and envision your future in this vibrant community.



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ENTRANCE

RECEPTION ONE

15'9" into bay x 13'10" (4.81m into bay x 4.23m)

Double glazed bay window to front. Wood flooring. Radiator.

RECEPTION TWO

13'10" x 12'5" (4.22m x 3.79m)

Wood flooring. Radiator. Double glazed door to garden. Open to kitchen.

KITCHEN

9'3" x 6'4" (2.82m x 1.95m)

Gas hob. Double oven. Double glazed window. Open to reception two.

STAIRS TO FIRST FLOOR

BEDROOM ONE

15'11" into bay x 10'4" (4.86m into bay x 3.15m)

Double glazed bay window to front. Carpeted flooring. Radiator. Fitted wardrobes.



BEDROOM TWO 12'4" x 10'8" (3.77m x 3.26m)
Double glazed window to rear. Carpeted flooring.
Radiator. Fitted wardrobes.

BEDROOM THREE 9'6" x 8'9" (2.90m x 2.68m)
Double glazed window to front. Carpeted flooring.
Radiator.

FIRST FLOOR BATHROOM 9'3" x 8'9" (2.83m x 2.68m)
Panel bath. Walk-in shower unit. Wash hand basin. Low
level toilet. Lino flooring. Part tiled walls. Towel heater.

UTILITY 5'6" x 3'1" (1.69m x 0.96m)
Access in the garden. Houses the boiler and plumbing for
washing machine. Window to garden.

STORAGE 5'6" x 2'9" (1.69m x 0.86m)
Storage.

EXTERIOR
Front - Off street parking for 2 up to cars.
Rear - Mainly shrubs and laid lawn.

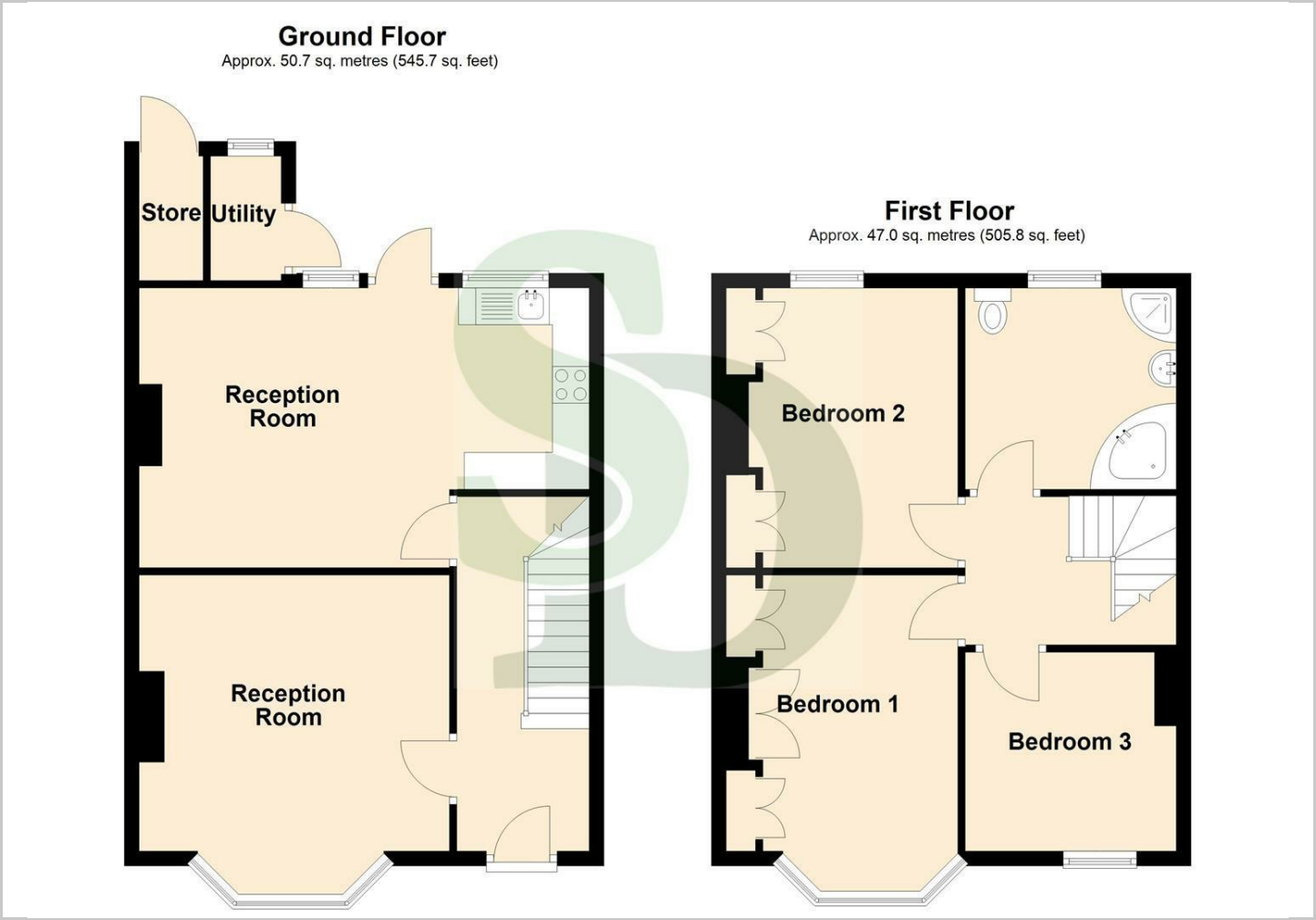
AGENTS NOTE
No service or appliances have been tested by Sandra
Davidson Estate Agents.







Floor Plans



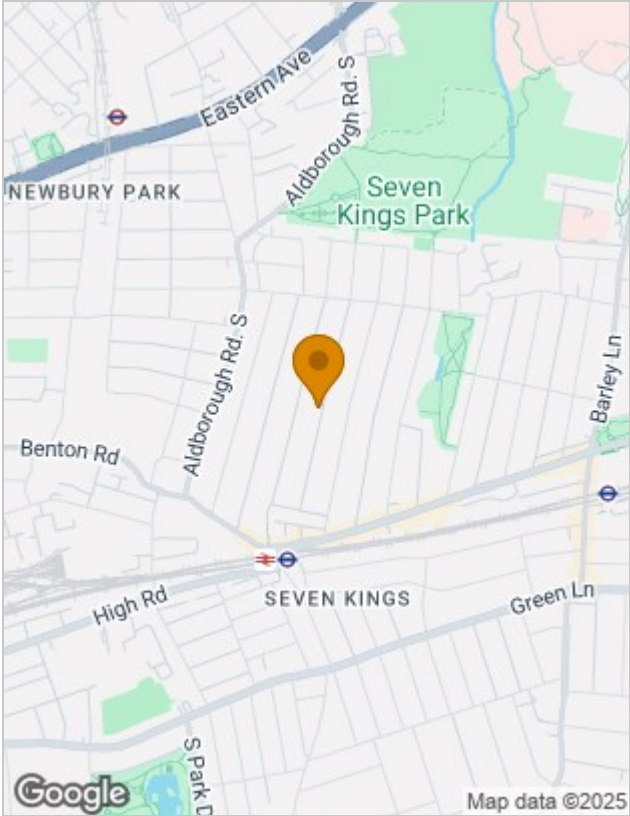
Viewing

Please contact our Seven Kings Sales Office on 020 8597 7372 if you wish to arrange a viewing appointment for this property or require further information.

The particulars are set out as a general outline only for the guidance of intended purchasers or lessees, and do not constitute, any part of a contract. Nothing in these particulars shall be deemed to be a statement that the property is in good structural condition or otherwise nor that any of the services, appliances, equipment or facilities are in good working order. Purchasers should satisfy themselves of this prior to purchasing.

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Location Map



Energy Performance Graph

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales		EU Directive 2002/91/EC